

Certified by Presiding Officer	Certified by Clerk
<p style="text-align: center;">Mayor's Action <i>See Authentication Page Attachment</i></p>	

CITY COUNCIL
ATLANTA, GEORGIA

14-O-1295

SPONSOR SIGNATURES


Alex Wan, Councilmember, District 6

AN ORDINANCE BY COUNCILMEMBER ALEX WAN TO AMEND THE LAND USE ELEMENT OF THE 2011 CITY OF ATLANTA COMPREHENSIVE DEVELOPMENT PLAN (CDP) SO AS TO DESIGNATE PROPERTY AT 1164 AND 1184 SPRING VALLEY LANE TO THE SINGLE-FAMILY RESIDENTIAL LAND USE DESIGNATION; AND FOR OTHER PURPOSES.(HELD 6/11/14 BY THE COMMITTEE FOR A PUBLIC HEARING ON JULY 15, 2014.)

WHEREAS, the property owners of 1164 and 1184 Spring Valley Lane, NE, Atlanta, GA 30306 have requested the properties be annexed from DeKalb County unincorporated to the corporate boundaries of the City of Atlanta; and

WHEREAS, the properties are improved with a single-family residential dwelling; and

WHEREAS, the Office of Planning recommends that upon annexation the property be designated to the single-family residential (SFR) land use designation; and

WHEREAS, the City Council finds that the SFR land use designation is the appropriate designation for the property.

THE CITY COUNCIL OF THE CITY OF ATLANTA, GEORGIA HEREBY ORDAINS AS FOLLOWS:

SECTION 1. That the 2011 City of Atlanta Comprehensive Development Plan (CDP) is hereby amended by changing the Land Use Element of said Plan so as to designate properties at 1164 and 1184 Spring Valley Lane, NE, Atlanta, GA 30306 to the single-family residential land use designation. Said Properties are more specifically described and depicted on Exhibit “A” and “B”, which is hereby made a part of this ordinance.

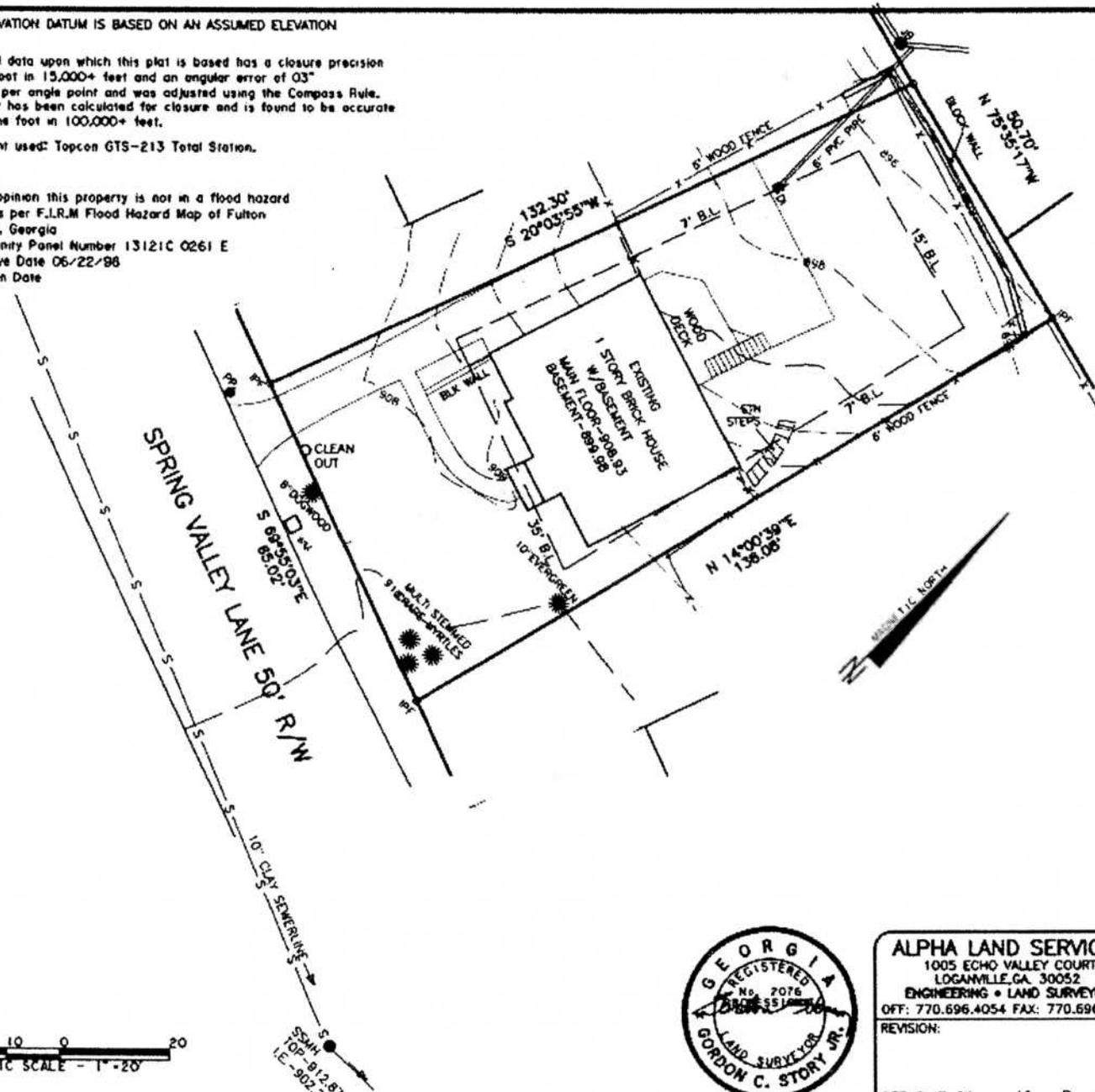
SECTION 2. That all ordinances or parts of ordinances that are in conflict with this ordinance are hereby waived to the extent of the conflict.

NOTE: ELEVATION DATUM IS BASED ON AN ASSUMED ELEVATION

The field data upon which this plat is based has a closure precision of one foot in 15,000+ feet and an angular error of 03" seconds per angle point and was adjusted using the Compass Rule. This plat has been calculated for closure and is found to be accurate within one foot in 100,000+ feet.

Equipment used: Topcon GTS-213 Total Station.

In my opinion this property is not in a flood hazard area as per F.I.R.M Flood Hazard Map of Fulton County, Georgia
Community Panel Number 13121C 0261 E
Effective Date 06/22/98
Revision Date



LEGEND

- IPF = 1/2" REBAR FOUND
- IPS = 1/2" REBAR PIN SET
- L.L. = LAND LOT
- L.L.L. = LAND LOT LINE
- P.L. = PROPERTY LINE
- CL. = CENTERLINE
- B.L. = BUILDING LINE
- R/W = RIGHT-OF-WAY
- S.S.E. = SANITARY SEWER EASEM
- D.E. = DRAINAGE EASEMENT
- MH = MANHOLE
- C.B. = CATCH BASIN
- J.B. = JUNCTION BOX
- H.W. = HEADWALL
- D.I. = DROP INLET
- PP = POWER/UTILITY POLE
- F.H. = FIRE HYDRANT
- I.E. = INVERT ELEVATION
- F.F.E. = FINISHED FLOOR ELEVATI
- F.F.B. = FINISHED FLOOR BASEME
- F.F.G. = FINISHED FLOOR GARAGE
- BOC = BACK OF CURB
- EP = EDGE OF PAVEMENT
- N/F = NOW OR FORMERLY
- P.O.B. = POINT OF BEGINNING
- X-X-X- = FENCE LINE
- O- = FLOOD HAZARD ZONE
- S- = STORM SEWER LINE/P
- W- = WATER LINE
- G- = GAS LINE
- CM = CONCRETE MONUMENT
- C.E. = CONSTRUCTION EASEMENT
- C&G = CURB AND GUTTER
- LS = LIGHT STANDARD
- OTP = OPEN TOP PIPE FOUND
- CTP = CRIMP TOP PIPE FOUND



ALPHA LAND SERVICES
1005 ECHO VALLEY COURT
LOGANVILLE, GA. 30052
ENGINEERING • LAND SURVEYING
OFF: 770.696.4054 FAX: 770.696.4054

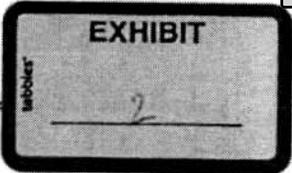
REVISION:

REF. PLAT: PB. 14 P. 150

SURVEY FOR:
1164 SPRING VALLEY
TAX PARCEL #17000200054

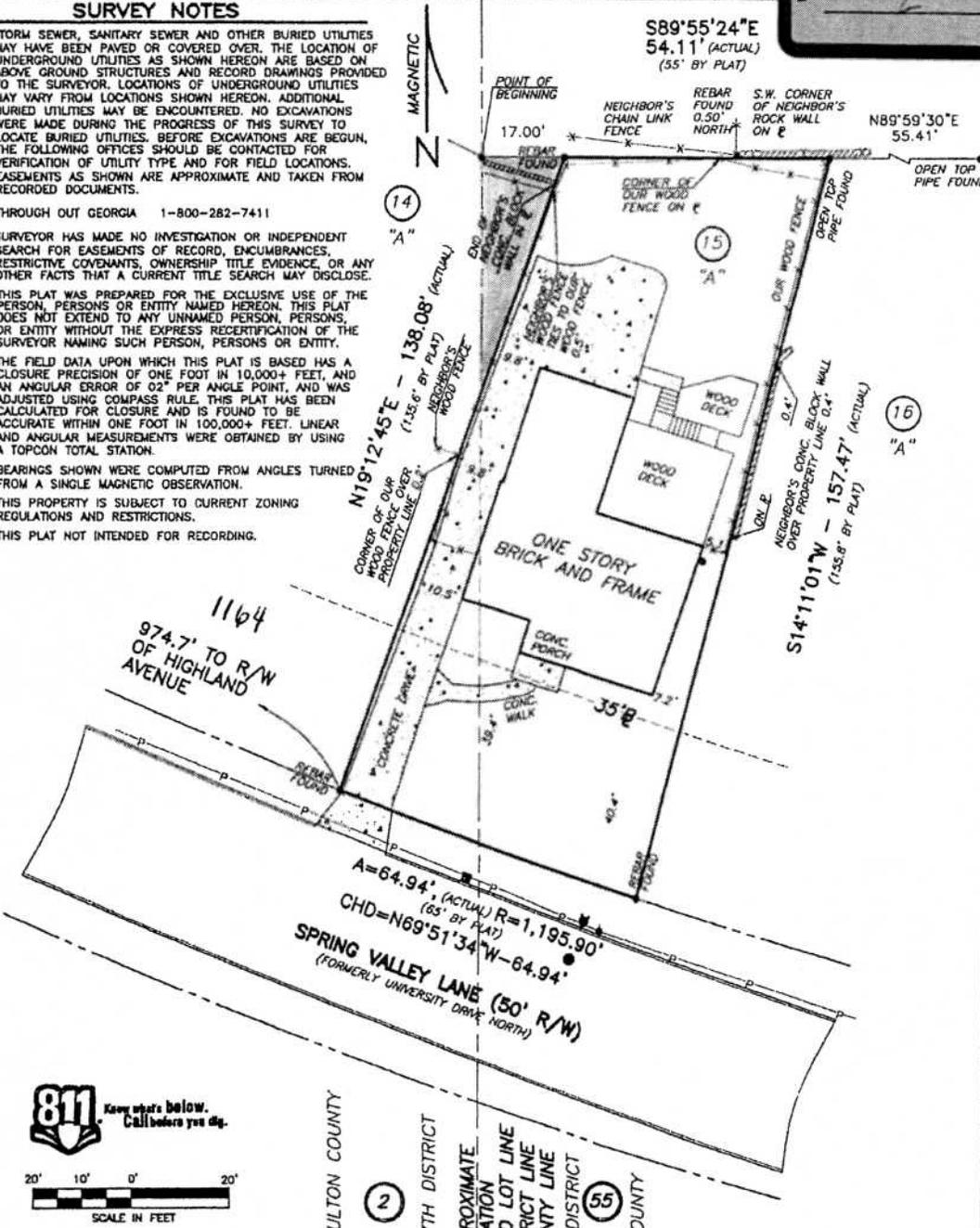
LAND LOT: 2	LOT: 14 BL
DISTRICT: 17TH	SUB: ROCK 51
FULTON/DEKALB COUNTY	ESTATE:
GEORGIA	AREA = 0.17
FIELD DATE: 09/18/13	PLAT DATE: 09/21/13
	JOB No. 13-

Attachment: annexation for 1164 and 1184 Spring Valley Lane (14-O-1295 : Amend Land Use for 1164 &



SURVEY NOTES

1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, THE FOLLOWING OFFICES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS. EASEMENTS AS SHOWN ARE APPROXIMATE AND TAKEN FROM RECORDED DOCUMENTS.
THROUGH OUT GEORGIA 1-800-282-7411
2. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT A CURRENT TITLE SEARCH MAY DISCLOSE.
3. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS OR ENTITY.
4. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 10,000+ FEET, AND AN ANGULAR ERROR OF 02" PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 100,000+ FEET. LINEAR AND ANGULAR MEASUREMENTS WERE OBTAINED BY USING A TOPCON TOTAL STATION.
5. BEARINGS SHOWN WERE COMPUTED FROM ANGLES TURNED FROM A SINGLE MAGNETIC OBSERVATION.
6. THIS PROPERTY IS SUBJECT TO CURRENT ZONING REGULATIONS AND RESTRICTIONS.
7. THIS PLAT NOT INTENDED FOR RECORDING.



REFERENCE MATERIAL

1. WARRANTY DEED IN FAVOR OF AMY B. HAYES AND MICHAEL D. HAYES DEED BOOK 17603 PAGE 552-554 DEKALB COUNTY, GEORGIA RECORDS

McLUNG SURVEYING SERVICES, INC.

4833 South Cobb Drive Suite 200 Smyrna, Georgia 30080 (770) 434-3383

This property is not located in a Federal Flood Area as indicated by F.I.R.M. Official Flood Hazard Maps.

In my opinion this plat is a correct representation of the land platted.

Fences should not be placed using side dimensions from house.

This original of this document was sealed and signed by Michael R. Noles L.S. #2848 on 4-28-12. THIS REPRODUCTION IS NOT A CERTIFIED DOCUMENT.

Michael R. Noles Georgia RLS #2648 Member SAMSOG JOB#231614

LEGEND

- RCP
- CMP
- REINFORCED CONCRETE PIPE
- CORRUGATED METAL PIPE
- POWER POLE
- LIGHT POLE
- POWER METER
- POWER BOX
- AIR CONDITION
- TELEPHONE BOX
- GAS METER
- GAS VALVE
- WATER METER
- WATER VALVE
- JUNCTION BOX
- DROP INLET
- SANITARY SEWER MANHOLE

PROPERTY OF
**JOEL VECE
LAURIE VECE**

**LOT 15, BLOCK "A"
ROCK SPRINGS ESTATES, INC.**

LAND LOT 55, 18TH DISTRICT, DEKALB COUNTY
LAND LOT 2, 17TH DISTRICT, FULTON COUNTY
GEORGIA

PLAT PREPARED: 4-28-12
FIELD: 4-25-12 SCALE: 1"=20'

PG 14
150

Attachment: annexation for 1164 and 1184 Spring Valley Lane 2 (14-O-1295 : Amend Land Use for 1164 & 1184 Spring Valley Lane)

EXHIBIT A

1164 SPRING VALLEY LANE - LEGAL DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 2 OF THE 17TH DISTRICT OF FULTON COUNTY, GEORGIA AND LAND LOT 55 OF THE 18TH DISTRICT OF DEKALB COUNTY, GEORGIA, BEING LOT 14, BLOCK A, PART OF PROPERTY OF ROCK SPRINGS ESTATE, INC. SUBDIVISION, AS PER PLAT RECORDED IN PLAT BOOK 14, PAGE 150, DEKALB COUNTY, GEORGIA, RECORDS, WHICH PLAT IS INCORPORATED HEREIN BY THIS REFERENCE AND MADE A PART HEREOF; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON PIN ON THE NORTHEASTERLY SIDE OF SPRING VALLEY LANE (FORMERLY NORTH UNIVERSITY DRIVE) EIGHT HUNDRED EIGHTY NINE AND SEVEN TENTHS (889.7) FEET SOUTHEASTERLY, AS MEASURED ALONG THE NORTHEASTERLY SIDE OF SPRING VALLEY LANE, FROM THE CORNER FORMED BY THE INTERSECTION OF THE NORTHEASTERLY SIDE OF SPRING VALLEY LANE AND THE SOUTHEASTERLY SIDE OF HIGHLAND AVENUE IF SAID CORNER WERE EXTENDED TO FORM AN ANGLE INSTEAD OF A CURVE; SAID POINT OF BEGINNING ALSO BEING AT THE LINE WHICH DIVIDES LOTS 13 AND 14, SAID BLOCK, SUBDIVISION AND PLAT; THENCE RUNNING SOUTHEASTERLY ALONG THE NORTHEASTERLY SIDE OF SPRING VALLEY LANE, SIXTY-FIVE (65) FEET TO AN IRON PIN AT THE LINE WHICH DIVIDES LOTS 14 AND 15; THENCE NORTHEASTERLY Y ALONG A LINE WHICH DIVIDES LOTS 14 AND 15, ONE HUNDRED THIRTY-EIGHT AND TWO TENTHS (138.2) FEET TO AN IRON PIN; THENCE WESTERLY AND NORTHWESTERLY, FIFTY AND SEVEN TENTHS (50.7) FEET TO AN IRON PIN AT THE LINE WHICH DIVIDES THE ABOVE MENTIONED LOTS 13 AND 14; THENCE SOUTHWESTERLY ALONG A LINE WHICH DIVIDES SAID LOTS 13 AND 14, ONE HUNDRED THIRTY-TWO AND THREE TENTHS (132.3) FEET TO AN IRON PIN ON THE NORTHEASTERLY SIDE OF SPRING VALLEY LANE AND THE POINT OF BEGINNING.

EXHIBIT B

1184 SPRING VALLEY LANE - LEGAL DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND LING AND BEING IN LAND LOT 2 OF THE 17TH DISTRICT, FULTON COUNTY, GEORGIA AND IN LAND LOT 55 OF THE 18TH DISTRICT, DEKALB COUNTY, GEORGIA, BEING LOT 15, BLOCK A, SUBDIVISION OF PART OF THE PROPERTY ROCK SPRINGS ESTATES, INC., AS PER PLAT RECORDED IN PLAT BOOK 14, PAGE 150, DEKALB COUNTY, GEORGIA RECORDS; SAID PLAT BEING INCORPORATED HEREIN AND MADE A REFERENCE HERETO.